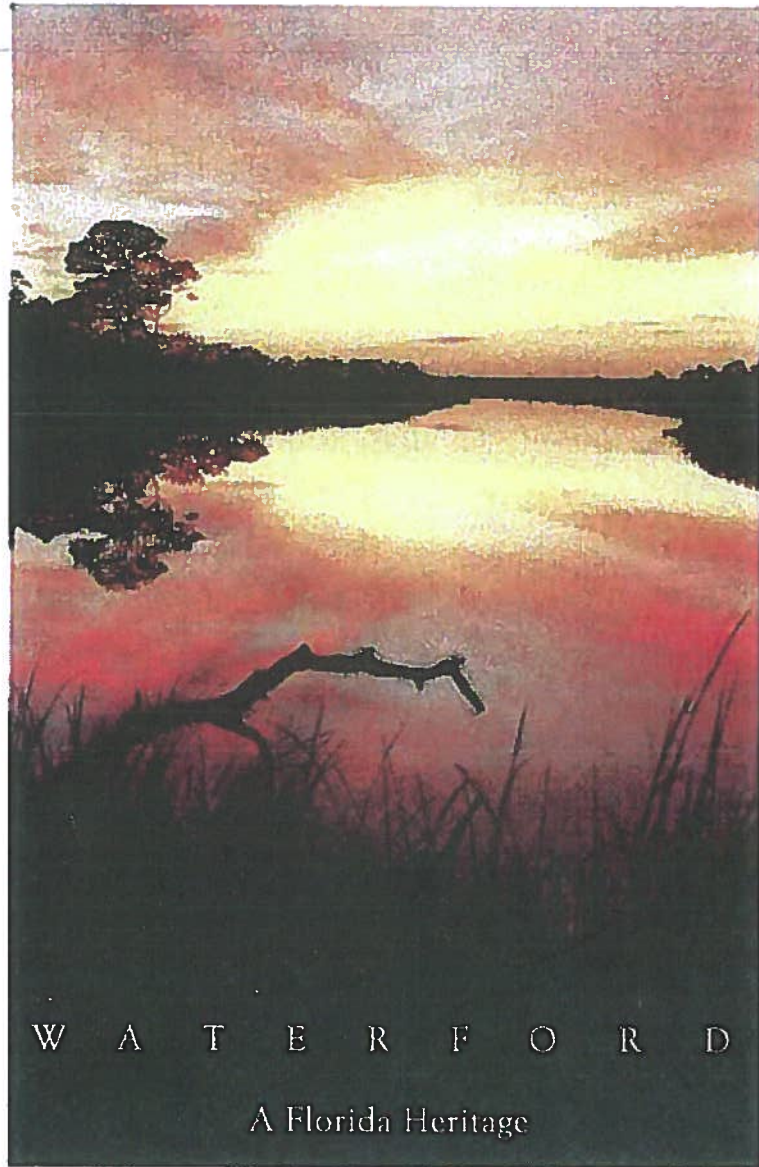


Architectural Design Guidelines



Kelly Plantation
Destin, Florida



KELLY PLANTATION

April 9, 2010

Dear Waterford Owner,

Attached are some amendments to the Waterford Architectural Design Guidelines that were recently passed by the Kelly Plantation Board of Directors. Please annotate the changes in your books, as indicated. Please let me know if you have questions.

Vr,

Kim Wintner

408 Kelly Plantation Drive
Manager's Office, Destin, FL 32541
T 850.650.2320 F 850.650.0646
kwintner@alliancemanagementco.com

ALLIANCE

Alliance Association Management Co., Inc.

Kelly Plantation Owners' Association
408 Kelly Plantation Drive
Manager's Office
Destin, FL 32541
p. 850-650-2701

AMENDMENTS APPROVED BY THE KPHOA BOARD OF DIRECTORS
NOVEMBER 16, 2009 BOARD MEETING

By unanimous vote of the Board of Directors of the Kelly Plantation Owners Association, Inc. at its November 16, 2009 Board meeting, the following amendments were approved for the Architectural Design Guidelines for the Waterford Neighborhood:

In the Section titled "Building Guidelines and Architectural Standards", the third paragraph is amended as follows:

"The following Waterford Architectural Design Guidelines are to be used in conjunction with the Architectural Criteria and Design Guidelines, dated 10/18/99. The Waterford Architectural Guidelines are to supplement ~~replace~~ section ten of the Architectural Criteria and Design Guidelines. Specific items stated in the Waterford Architectural Guidelines are to supersede conflicting provisions ~~others~~.

Subsection Y of that same Section entitled "Docks" is amended by adding the following sentence as the first sentence of that paragraph:

Boat houses or covered slips are not allowed.

ADOPTION NOTES

The amendments are adopted by the Board for two expressed purposes. The first is to clarify the relationship between the authority of the master design guidelines for Kelly Plantation overall and the supplemental authority of the Waterford design guidelines. The clarifying amendment is intended to remove any doubt that the two are read together in reviewing any construction or modification of existing construction within the Waterford Neighborhood, as has been the practice in review of all existing Waterford Lot improvements. The second is to leave no doubt that the same restriction on the construction of boat houses and/or slip covers on all the docks within Kelly Plantation applies to all of the Waterford Lot dock designs despite the distinction that the Waterford dock locations and configurations are all pre-approved under a unified FDEP/USCOE permit. An owner's receipt of approval for a modification of the established dock designs by one or both of the regulatory agencies will not avoid the boathouse and slip cover improvements restriction in the design guidelines.

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BUILDING GUIDELINES AND ARCHITECTURAL STANDARDS

Waterford is Kelly Plantation's most exclusive community of estate homes, surrounded by the waters of the Choctawhatchee Bay and Jones Bayou. The estate tone of the community is established at entry by stately landscaping, entry gate, and decorative paving. Homeowners are encouraged to continue the estate feeling of the community as they develop their architectural drawings.

Homes in Waterford are to be architecturally designed custom residences, which maximize views to and from the waterways. While desiring individual expression in design, Kelly Plantation requires that each home complement rather than overwhelm the natural surroundings.

The following Waterford Architectural Design Guidelines are to be used in conjunction with the Architectural Criteria and Design Guidelines, dated 10/18/99. The Waterford Architectural Design Guidelines are to replace section ten of the Architectural Criteria and Design Guidelines. Specific items stated in the Waterford Architectural Design Guidelines are to supersede others.

A Florida registered Architect is required to design all homes in the Waterford Community. Also, a Florida registered Landscape Architect is required to design the landscape and hardscapes. A Florida licensed Building Contractor shall build all new homes.

Architects and Building Contractors shall submit a portfolio of work and fill-out necessary documents to NCC for approval to become a member of the approved list of Kelly Plantation Architects and Builders.

A review fee of \$2,500.00 is required at time of initial submittal of design review application.

A. DESIGN PHILOSOPHY

The Waterford Community is intended to have a mixture of architectural styles; however, all are to have an early Southern American Plantation charm, the great plantation homes era of 1800-1920s (Colonial, Greek Revival, & others). All plantation home sites should maintain the overall objective of practical sturdiness, maximum comfort, and proper use of space. The main house and out buildings should express a formal appearance with an inviting atmosphere. The plantation homes are to be elegantly scaled and proportioned in form and mass with early craftsman style detailing. Asymmetrical (but balanced) designs are preferred over symmetrical designs.

B. ARCHITECTURAL CHARACTERISTICS

Traditional simple forms that draw from the Southern Plantation Architecture include some of the following elements: Elevated houses and wraparound shade porches or galleries, broad one and two story facade porches or galleries, elevated masonry stem walls or masonry foundations piers with screening, trellised verandahs, sturdy columns ranging from simple square columns to classical Tuscan, traditional wood frame door and windows with tall proportions, operable side hinged shutters, gables or hip roofs with classical cornices, belvederes (observation galleries), cupolas, deep roof overhangs, and

Craftsman style detailing. Broad porches or galleries typically were placed in the front and back, and/or completely encircling the dwelling.

C. EXTERIOR COLORS

To provide continuity of color for Waterford, a color palette for the intended range of color options for the structures is provided. The colors are organized into four (4) categories: roof, body, trim, and accent. A limited use of contrasting accent colors can be used on selected elements. Other complementary colors not included in these palettes may be used with NCC approval. The color samples presented convey the range of options for Waterford. Stucco colors shall be warm in nature and lighter than other body colors.

Accent colors may be more brilliant in nature subject to NCC approval. See attached sample color palette.

D. SETBACK CRITERIA

The building setbacks define the perimeter of an area within which habitable structures, accessory structures, pools, pool fences, and privacy walls are located. The setback areas for each lot vary and are shown on Waterford's Community site plan, Exhibit 20.

E. ACCESSORY STRUCTURES

Carriage houses, detached garages, outdoor pavilions and privacy walls are acceptable and highly desirable. The accessory structure(s) shall harmonize with the main house and overall site layout. All accessory structures shall be built within the allowable buildable setback areas designated on site diagrams. The architectural style and details should match the main house; including walls, roof, windows, doors and specific architectural elements.

F. BUILDING HEIGHTS AND STORIES

The main house's principal mass shall have a maximum of three (3) livable floors; the third floor's maximum size may not exceed one-third of the main house's principal mass. (Three story-building facades are not desirable, unless it relates to the overall design theme.) Third floor space should be tucked into or related to the roof structure with dormers, or small roof terraces to diminish the scale. The carriage house and/or garage shall be a maximum of two (2) livable floors. The maximum building height for the main house shall be fifty feet (50') measured from the first finish floor elevation to the highest point on the main roof, excluding copulas, weathervanes, or chimneys. The maximum building height for the carriage house shall be thirty-five feet (35') measured from the first finish floor elevation to the highest point on the main roof, excluding chimneys.

G. EASEMENTS/CONSERVATION AREAS

No permanent structures shall be placed in native plant buffers or conservation areas.

H. BUILDING PLACEMENT ON SITE

Home sites may have formal and/or informal settings that relate to the overall design theme and building placements. The placement of the main residence and carriage house (if applicable) shall be in the most advantageous position to ensure that no trees are unnecessarily disturbed and that views and privacies of surrounding residences are not adversely affected. The buildable areas, native plant buffer, and DEP conservation areas are designated on site diagrams. (Exhibit 20)

Designated DEP conservation areas shall comply with State of Florida guidelines for boardwalks, docks, or other ancillary structures. No grading, filling, or clearing of lot is permitted, until final submitted plans have been approved by NCC.

I. SQUARE FOOTAGE

Homes in Waterford will contain at least the following combined heated and cooled floor area for the main house and accessory structures. The initial phase of construction must meet the required minimum square footage.

Square footages as follow:

	Maximum	Minimum	Total Maximum
Building	Living Area	Living Area	Building Footprint
Main House	13,000 sq. ft.	5,000 sq. ft.	15,000 sq. ft.
Carriage House*	4, 000 sq. ft.		5,000 sq. ft.
Outdoor pavilion *			1,000 sq. ft.
Total	17,000 sq. ft.		21,000 sq. ft.

*Maximum of two is permitted.

J. FINISH FLOOR ELEVATION/FOUNDATION SYSTEMS

The ~~maximum~~^{minimum} finished floor (first level) for the main house shall be thirty-six inches (36") above the crown of the adjacent roadway or the adjacent natural elevation; whichever is greater. The maximum finished floor elevation of main house shall be seventy-two inches (72") above the crown of the adjacent roadway or the adjacent natural elevation; whichever is greater. If a pile or pier supported foundation is used, the area between finish grade and the first finished floor shall be at least eighty percent (80%) screened with wall materials. Such materials shall be consistent with the design of the home and prevent views from passing underneath the main body of the home. Masonry stem wall and/or masonry pier foundations are preferred.

The minimum finished floor (first level) shall be sixteen inches (16") above the crown of the adjacent roadway or the adjacent natural elevation; whichever is greater. The maximum finished floor elevation of the out buildings (carriage house, garage, or pavilions) shall be twenty-four inches (24") above the crown of the adjacent roadway or the adjacent natural elevation; whichever is greater.

K. EXTERIOR APPEARANCE

1. Proportion/Scale

The architectural forms of the building(s) shall establish a proportion and scale that creates a sense of order among the elements in a visual construction. The proportioning system shall have a consistent set of visual relationships between the parts of a building, as well as between the parts and their whole.

2. Building Walls

The architectural design throughout Waterford shall utilize the early American Southern Plantations style that allows a combination of masonry (brick or stucco finish) and wood siding.

The detailing of the walls shall reflect traditional craftsman style detailing.

Acceptable materials: Brick, stucco, wood siding, hardi plank, natural stone, and precast stone.

3. Doors

The front entry door should be detailed to express grandeur. Wood or glass exterior doors are recommended and shall be a minimum of eight feet (8') in height. Double front entry, side and top lights doors are encouraged. Brass casing and etched glass are not permitted. Traditional door hardware is also encouraged. Garage doors should be solid and be compatible with exterior wall design and color. Aluminum sliding doors are not permitted to be visible from either the street or waterways and are generally discouraged.

4. Windows

To maintain a traditional estate tone, wood frame windows are strongly suggested, as are French doors in combination with window transoms. They should be carefully proportioned to enhance the exterior appearances and interior light quality. Aluminum and vinyl clad windows are acceptable, provided they visually resemble wood windows (sash and stile). Lightly tinted or clear glass is acceptable. Foil or reflective glass is unacceptable. All glazing shall comply with applicable building codes. Where window coverings are used, drapery liners or some internal neutral color barrier are required to create a unified exterior appearance.

Kim Wintner

From: B Design of Destin [bdesignndestin@embarqmail.com]
Sent: Friday, January 14, 2011 2:52 PM
To: KIM WINTNER
Subject: WATERFORD

Kim,
Hope all is well. My architect and I have designed up the elevation for Jan and Paul Malsky and had a question with the roof pitch. In the books it states a minimum roof pitch of 8:12. Ronnie Adams house is not an 8:12 pitch roof. Did he get a variance on that because of the style of the home? If we show a lower pitch roof that goes back to the old spanish meditterenean style, would that be o.k.?

Thanks,

--

Eric Craig
President

B. Design of Destin Inc.
4393 Commons Drive East
suite 205

Destin, Fl. 32541

850-650-8221

850-650-8225 fax

www.bdesignndestin.com

www.boyattplans.com (please call Destin office for any questions on this site)

Go Ohio State Buckeye's!

5. Shutters

Shutters shall be in accordance with the overall style of the home. Louver, bevel board, and panel shutters are acceptable. All shutters shall be operable and sized to fit window. Wood and aluminum shutters are acceptable. Traditional hardware, pivots, and latches are strongly encouraged. Roll down shutters are not permitted. Hurricane shutters must be concealed in architectural design in the initial submission of plans. Add on shutters/systems (after completion of construction) will not be permitted. Acceptable materials for hurricane shutters are: wood, aluminum and fiberglass.

6. Roofs

The roofs of all the residents of Waterford, while perhaps different in material and color, shall have a similarity of form to provide for a homogeneous character. The minimum roof pitch or slope shall be 8:12 and maximum of 12:12. Individual homes roof color shall be uniform.

Roofing less than 8:12 is acceptable only in minor areas (not to exceed 25% of roof area). The use shall occur mainly as a connector to more dominant elements or roof mass. All connecting roofs such as detachable garage to main house shall have a compliant roofing material.

Acceptable main roof materials: Concrete tile, slate, and imitation slate.

Acceptable accent roof materials: Standing seam painted metal and copper.

Roof overhangs shall form an integral part of the traditional architectural style and should be maximized. The roof overhangs can incorporate balconies, decks, and screened porches. Minimum overhang is to be twenty-four inches (24").

Vents shall be located on site elevations. Flashing is recommended to be copper or stainless steel, while raw aluminum or galvanized metal for exposed flashing is prohibited.

Roof attachments such as ornamental ridge caps, weathervanes, oversized fireplace flues, etc. shall be designed to provide additional detail and scale to the buildings.

7. Chimneys

Chimney detailing shall reinforce the character desired. Chimney dimensions shall be compatible in scale to the structure. Pre-fabricated fireplaces, when used, shall have covering for all exposed flue pipes. No direct vent fireplaces will be permitted.

8. Ornamental Elements

The use of ornamental elements such as precast concrete inlays, column caps, copings, headers etc. are entirely subject to NCC approval.

L. DRIVEWAYS/MOTOR COURTS

Driveways shall be concrete or interlocking pavers. Pavers shall be solid colors with solid or accent color bordering. All concrete shall be integrally colored and finished with smooth or rock salt application. Standard broom finish concrete is prohibited. Graceful curves from the roadway to the garage are preferred to straight driveways. Driveways shall be located to avoid any existing significant trees. Driveways shall be a maximum of twelve feet (12') wide, except in the vehicular parking area or as the drive enters the street or garage enclosure. No roadway sidewalks are required.

M. GARAGES

Each residence must have a private, fully enclosed garage for not less than two (2) vehicles. Garages would normally be limited to three (3) full size garage doors. Garages may be detached from the main house and include upstairs living quarters. All garage doors should be screened from roadway and adjacent residences, the garage door style should compliment the overall house design. Single garage doors are preferred over doublewide doors. Motor courts garages with multiple single garage doors are preferred. Open carports are not permitted. Automatic garage door openers are required on all garage doors. No commercial trucks, campers, trailers, boats, personal watercraft or recreational vehicles are permitted to be parked on any lot overnight, unless they are fully enclosed in a garage or fully screened from roadway, other residences, or abutting waterways with landscaping.

N. WALLS/FENCES/HEDGES

Solid fencing, open ornamental metal fencing, or a combination of solid and open are permitted. Fences or walls shall be low and unobtrusive to its surrounding neighbors and roadway. Fences or walls may only be built within the buildable areas designated on site diagrams. Low fences or walls are preferred over tall fences, no fence over six feet in height above finish grade. Pilasters or columns may extend two feet (2') above height of walls. All trash cans, electrical, mechanical, and pumps shall be screened by solid fencing that matches the main house's material palette. Ornamental fences shall be bronze, black, or dark green in color. No ornamental pilaster, column statuary or fenials are permitted; only simple, traditional caps are encouraged. Any other use of walls/fences will be considered by the NCC on a case by case bases, as it relates to the overall design.

O. PORCHES/GALLERIES/BALCONIES/TERRACES

The creative use of wide porches or galleries, verandas, and balconies on all elevations is strongly encouraged. Framed views of the street and waterways are desirable. Handrails and/or columns form an integral part of the porch or gallery concept. The handrails and

columns should either be stone, wood, painted aluminum or wrought iron (with proper rust prohibitor), and designed to be architecturally compatible with the house design. Porches and decks may not be freestanding. If screening is desired, the enclosure must be designed as an integral part of the roof and walls, not as an appendage.

P. POOLS/CABANAS/POOL ENCLOSURES

Swimming pools can either be open or enclosed. If enclosed, the pool enclosure shall be positioned and detailed to compliment the plantation home's design. The screen enclosure's frame, screen, door & frame, and structural members shall be bronze color. The main columns, beams, and support member's materials shall compliment the design, supports are to be at height of the eaves. Column spacing shall be a maximum of eight feet (8'-0") apart with a minimum use of aluminum framing. A pool fence should be designed to coordinate with the architectural detailing of the home and meet all applicable codes. The screen roofs are to be flat, no pitched or mansard roofs permitted. Pool patios shall be integrally colored concrete, slate, flagstone, brick, wood, cool deck, tile, trex, stamped concrete or cut marble. Pool cabanas are desirable and must be designed to be compatible with the overall detailing of the main home. The cabana may serve as a guest cottage and contain a small "Pullman" type kitchen and a full bath.

Q. GREENHOUSES/SUNROOMS

Greenhouses and/or sunrooms are permitted, if they are part of the structure. Greenhouses or sunrooms are desirable as a method of joining separate structures. Detached greenhouses will be reviewed on a case-by-case basis. Greenhouses or sunrooms must be specifically designed for the residence.

R. GARBAGE & TRASH CONTAINERS

All garbage and trash containers shall be placed within the garage area or behind a five-foot (5') high screen wall as approved by NCC. Sanitary, capped trash containers are required.

S. GUTTERS & DOWNSPOUTS

Gutters and downspouts are discouraged but may be installed if approved. Downspouts should be located in least conspicuous locations and storm water must flow in a direction conforming to the approved drainage plan requirements and so as not to affect adjacent properties or waterways.

T. EXTERIOR LIGHTING & POST LIGHTS

All exterior lighting must be approved by the NCC prior to any installation of said lighting. Exterior fixtures with metal halide bulbs are encouraged. Proposed exterior lighting shall be detailed on an electrical plan and/or landscape plan identifying wattage, aiming angle and foot candle graphs. Exterior lighting, which in the opinion of the NCC

would create a nuisance to the adjoining property Owners, will not be permitted. Lighting fixture design must be compatible with the architectural design and appropriately located. The lights must be directed downward, diffused, shielded, or of low wattage. All exterior lighting shall be buffered from surrounding residences and shall not be directed to any roadways or waterways. Colored lighting is prohibited. The use of lighting designers is encouraged.

U. MAILBOXES & HOUSE NUMBERS

No mailbox, newspaper box or other receptacle of any kind for use in the delivery of mail, newspapers, magazines or similar material shall be of a type other than the required mailbox design. The location of the mailbox must be in close proximity to driveway entrance and roadway.

House numbers placed on the main house shall be compatible with the architectural style of the residence to which they will be attached.

V. MECHANICAL EQUIPMENT/ANTENNAS/SATELLITE DISHES

All privately owned electrical, electronic and mechanical equipment, including air conditioning compressors and condensers, swimming pool equipment, transformers and meters, and sprinkler controls shall be properly screened by a solid wall or landscaped so that they shall not be visible from the street, adjacent property, or waterways. Mechanical equipment may be elevated a minimum of twenty-four inches (24") above finish grade, with a six foot (6') screen or landscape wall above finish grade.

No window or wall air conditioning or heating units shall be permitted. Antennas and large satellite dishes of any type are not permitted. Note, eighteen-inch (18") satellite dishes shall be reviewed on case-by-case bases.

W. SKYLIGHTS AND SOLAR COLLECTORS

Skylights should have a low profile, preferably flat or slightly curved on finished grade. The skylight frame should be painted to match the color of the roof. No skylights will be permitted on the front roof slopes or those roof areas directly visible from adjacent streets and waterways.

X. TENNIS COURTS/SIGNS/FLAG POLES

All signs, billboards, and advertising structures, and tennis courts are prohibited. A flagpole for display of American flag only shall be permitted, subject to NCC approval of placement. No flagpole shall be used as an antenna. "For Sale" signs must be in compliance with Kelly Plantation standardized sign policy.

Y. DOCKS

All seawall and dock construction shall conform to local codes and Department of Army Corps of Engineers permits. Prior to construction, all docks must receive written approval from Kelly Plantation. Also, NCC is required and may be more restrictive than permit maximums.

Z. PLAYGROUND EQUIPMENT & TREE HOUSES

Play equipment including basketball goals if approved must be placed in an area screened and not visible from the street, neighbors and waterways. Portable equipment/goal must be stored in the garage when not in use (nightly).

Absolutely no tree houses shall be constructed on any lot or common area properties.

AA. LANDSCAPING STANDARDS

INTRODUCTION

The goal of the NCC is to provide for the sensitive enhancement of the environment by the encouragement of an ongoing planting program, which adheres to a "natural theme". Plant material selections and planting arrangements which reinforce naturalistic settings in keeping with the character of the site will be expected and the use of plant species is prescribed in the list at the end of this chapter will be a requirement.

SUBMITTAL REQUIREMENTS

To ensure that the unique elements which create the visual appeal of the community are preserved and enhanced, and that any proposed vegetative improvements are kept consistent for the benefit of all, a comprehensive landscape plan and plant list will be required for all proposed home site construction projects. The NCC reserves the right to approve or disapprove any such submission, and may at its sole discretion make suggestions or require modifications which may be appropriate to bring the proposed landscape plan into compliance with the Design Guidelines of Waterford.

In order to insure a mature, grown-in appearance upon installation, the NCC may require a minimum of five percent (5%) (excluding automatic irrigation system) of the total estimated construction cost and lot value to be applied toward landscaping. At its discretion, the NCC further retains the right to increase landscape expenditures as it sees fit, to a maximum of seven percent (7%) of the said total of house and property. For this reason the protection and retention of existing vegetation during site clearing and construction is recommended.

The Landscape Plan shall be prepared by a landscape architect, licensed in the state of Florida, familiar with the restrictions and limitations of the local coastal environment. Additionally, an Irrigation Plan, at the same scale as the Landscape Plan, showing the layout of an automatic sprinkler system shall be submitted. Two (2) signed and sealed

copies of the landscape documents shall be delivered to the NCC for review and comments. No installation work may commence prior to receipt of written approval by the NCC of the landscape documents.

PLANTING

Landscape designs should include the following minimum tree requirements. Each home shall provide a minimum of one tree per 1,500 sq. ft. of upland lot area. Tree varieties, sizes and types shall make up the following percentages:

50% Shade Trees	30% Flowering Trees	20% Evergreen Trees
Oak, maple, cypress, elm, etc.	Crape myrtles, oleanders, Vitex, etc.	Holly ligustrum, magnolias, etc.
Minimum 6" caliper	Minimum 12' ht.	Minimum 12' ht.

The addition or use of palms is acceptable as accents; however, palm trees may not comprise more than 10% of total tree count. Sabal palms are strictly prohibited. Refer to tree list in Kelly Plantation Architectural Design Guidelines.

Any native plant buffer which is disturbed by clearing or fill shall be replanted with designated native plant list, Exhibit 19, included in and required by U.S. Army Corps of Engineers permit. Grass or other ornamental plants not included in this list shall not be planted in this area.

IRRIGATION

Each lot is provided with 1" reclaimed water tap available through Destin Water Users. Kelly Plantation will allow each home to have a back-up or supplemental well if so desired. To minimize stains on homes, driveways, & curbs, all wells must contain a NCC approved iron removal system.

These architectural guidelines are not intended to be a complete list of all criteria that must be satisfied in connection with construction of improvements. Compliance with these architectural guidelines does not assure approval of any particular designs. Kelly Plantation NCC reserves the right to approve or disapprove particular designs, which vary from or otherwise do not comply with these architectural guidelines.

These architectural guidelines are a mechanism for maintaining and enhancing the overall aesthetics of Waterford; they do not create any duty to any person. Review and approval of any designs may be based on aesthetic considerations only. Kelly Plantation NCC shall not bear any responsibility for ensuring the structural integrity of soundness of approved construction or modifications, for ensuring compliance with building codes and other governmental requirements, or for ensuring that every structure is of comparable quality, value, or size, or similar design, or aesthetically pleasing or otherwise acceptable to other owners of property in the Waterford community. Kelly Plantation makes no warranty, express or implied, that the information or guidelines contained herein are suitable for any particular use, and hereby disclaims any liability in connection with the use of this information.

DESIGN REVIEW APPLICATION
(Page 1 of 4)

DATE: _____

LOT #: _____

TO: Chairman, New Construction Committee

OWNER:

Name

Street

City State Zip

BUILDER/
CONTRACTOR:

Name

Street

City State Zip

RESIDENTIAL
ARCHITECT:

Name

Street

City State Zip

LANDSCAPE
ARCHITECT:

Name

Street

City State Zip

DESIGN REVIEW APPLICATION
(Page 2 of 4)

This application is being submitted for:

Major Review (Owner) _____

Major Review (Builder) _____

Has floor plan been previously approved for another Lot? _____

If yes, for which Lot? _____

Is elevation style substantially different? _____

Air Conditioned Space (1st floor) _____ sq. ft.

Air Conditioned Space (2nd floor) _____ sq. ft.

Other: _____ sq. ft.

Total Gross Sq. Ft. _____ sq. ft.

GENERAL INFORMATION:

Lot Dimensions: _____

Lot Sq. Ft.: _____

Stories: _____

Bedrooms: _____

Baths: _____

Height from Slab: _____

Height from crown of
Road to roof ridge line: _____

Finished Floor Elevation
above crown of road: _____

DESIGN REVIEW APPLICATION
(Page 3 of 4)

<u>Exterior Features</u>	<u>Color/Finish</u>	<u>Description</u>
Driveway	_____	_____
Entry Walk	_____	_____
Siding	_____	_____
Stone	_____	_____
Brick	_____	_____
Stucco	_____	_____
Shutters	_____	_____
Windows	_____	_____
Window Trim	_____	_____
Entry Door	_____	_____
Glass Sliding Doors	_____	_____
French Doors	_____	_____
Garage Door	_____	_____
Roofing	_____	_____
Fascia	_____	_____
Soffit	_____	_____
Gutters	_____	_____
Chimney	_____	_____
Screening	_____	_____
Porch/Patio Deck	_____	_____
Pool Deck	_____	_____
Privacy Fencing/Walls	_____	_____
Planters	_____	_____

Note: Include color chips, materials, samples of color product photos, etc. with application.

DESIGN REVIEW APPLICATION
(Page 4 of 4)

The preceding application is submitted for review by the New Construction Committee.
Required design documents are attached.

Submitted by:

Owner or Builder

Current Address

Date

Phone Number (Daytime)

(Evening)

**** COMMITTEE USE ****

Date Received:

The New Construction Committee has reviewed the foregoing application and rendered the following decision:

_____ Approved

_____ Approved with Limiting Conditions

_____ Denied

Comments (recommendations):

Limiting Conditions (binding provisions):

Chairman/New Construction Committee

Date: _____

For Final Submission, as a minimum the drawings shall include:

1. Site plan

Scale in size appropriate to show detail, but not less than 1" = 20'-0", indicating:

- a. Access street(s) and walkway(s), drives and other exterior improvements, including material and color.
- b. Grading drainage plan, including on-site retention areas.
- c. Fill plan, if any (indicating run-off and tree preservation method).
- d. Culvert(s), location and size and flow direction.
- e. Foundation plan if other than slab-on-grade.
- f. Exterior lighting plan.
- g. Service yards.
- h. Service entry to lot, of water, electricity and telephone.
- i. ~~T~~ree survey showing location and species of trees four inches (4") or larger in diameter at a point four feet (4') above ground.
- j. Building plan to scale, overlaid on tree survey indicating all structures and other improvements to be included in the scheme with an indication of trees to remain and trees to be removed (at the same scale as boundary/tree survey).
- k. Location and identification of special features (e.g., drainage ditch, dune, nearby lake easements, adjacent structures, etc.).
- l. Mechanical equipment showing location and screening details.
- m. Location of contractor ID sign and outdoor toilet facility.

2. Floor Plans

In a scale appropriate to show all detail including an exact computation of the square footage stated by floor in the case of multi-floored residences and finished floor elevations.

3. Roof Plans

In size appropriate to show detail.

4. Foundation Plans

In size appropriate to show detail.

5. Elevations

Depicting all four (4) sides, including hidden views.

- a. Existing and finished grade.
- b. Total height dimension.
- c. Exterior treatment to include all materials, door and window fenestration, walls, fences, etc.

6. Typical Wall and Building Sections

Depicting:

- a. Materials.
- b. Roof pitch.
- c. Fences, screens, exterior walls, etc.

7. Details

Depicting:

- a. Design features and other improvements requiring clarifications.
- b. Fascia and trim details.
- c. Doors and windows.
- d. Garage doors.

8. Patios, Decks, Balconies, Verandas, Porches, etc.

9. Exterior Lighting

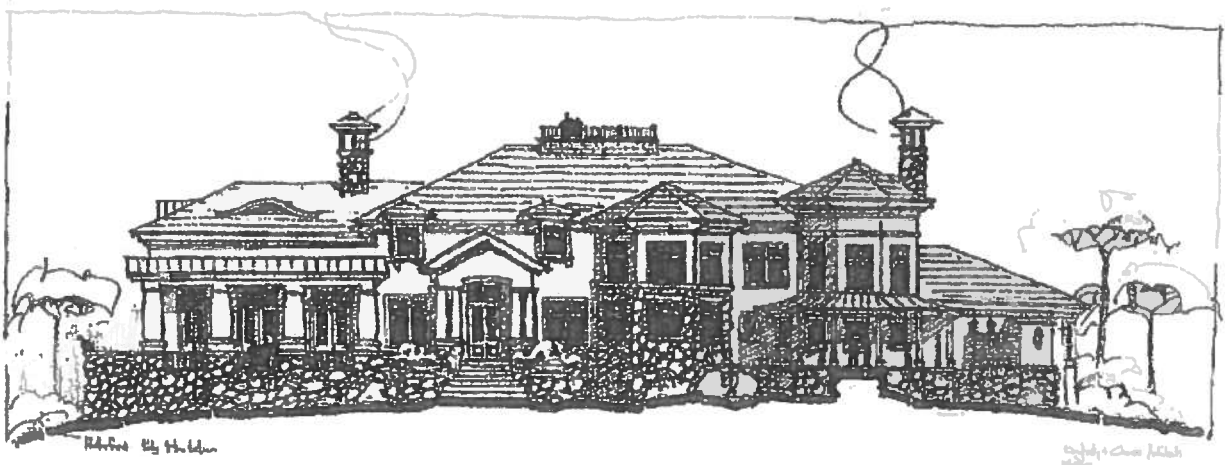
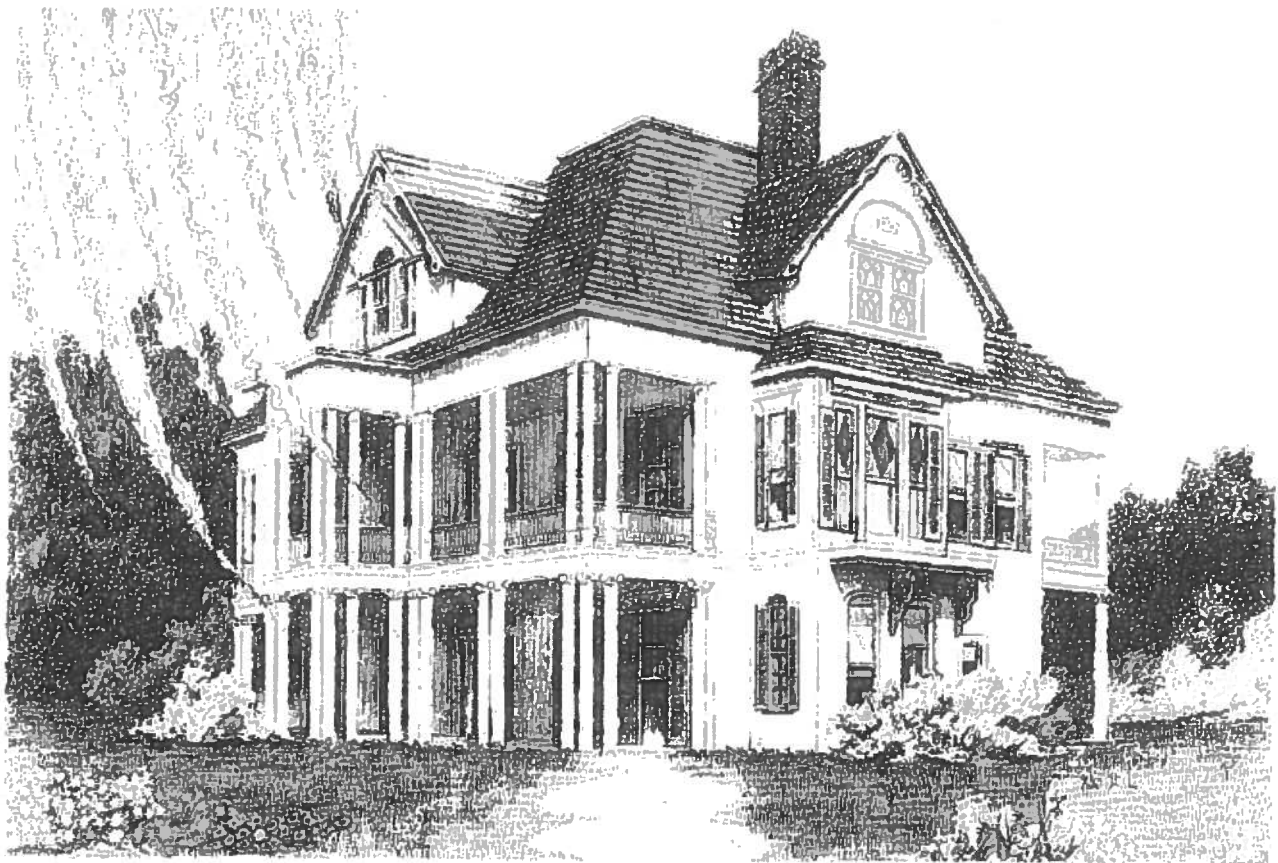
Details with product photos.

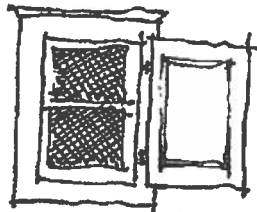
10. Landscape Plans

At a scale of site plan, including:

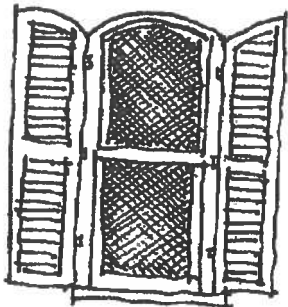
- a. Boundary: Indicate all perimeter property lines, setbacks, dedicated easements and north arrow.

- b. **Structures:** Position all structures on the property and indicate the location of all windows, doors, and permanent construction elements, which are proposed.
- c. **Perimeter Areas:** Reflect all adjacent site conditions and surrounding roadways, lakes and pertinent features, which may affect the subject property.
- d. **Hardscape:** Indicate all proposed vehicular and pedestrian circulation treatments, swimming pool location and configuration, miscellaneous amenity elements, garden features and permanent site furnishings that may affect the use of the site.
- e. **Utility elements:** Show all air conditioner equipment locations, exposed utility meters, garbage areas, LP gas tank, pool equipment and any service or utility elements which may require landscape treatment or buffer screening.
- f. **Decorative Grading:** Indicate general existing grades and all proposed decorative grading (earth berming) at one foot (1') intervals.
- g. **Existing Vegetation:** Based upon the current tree survey, accurately identify and locate all existing vegetation with a caliper of four inches (4") or greater, which is intended to be removed, remain or be relocated on the site.
- h. **Proposed Vegetation:** Provide a comprehensive landscape layout for all trees, palms, shrubs, ground covers, vines and sod that are proposed throughout the site.
- i. **Street Tree Location.**
- j. **Plant List:** Identify all proposed vegetation with a plant list that reflects the scientific and accepted common name, height, spread, caliper, or size at time of installation as well as any necessary remarks which may be required to clearly portray the technical needs for design review, and/or final installation purposes.

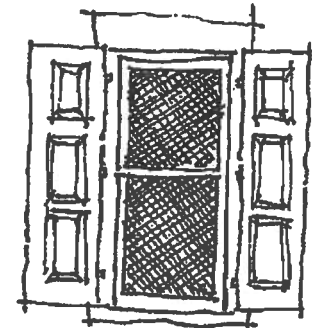
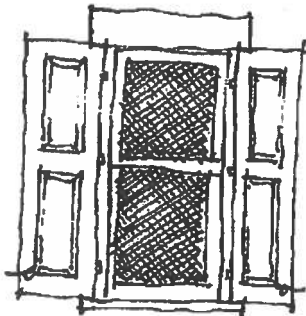




Single Shutter

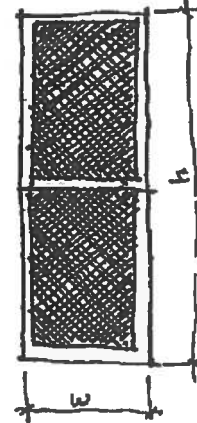
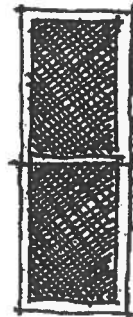
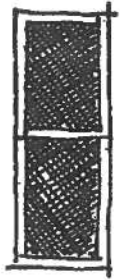
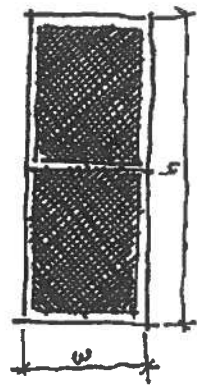
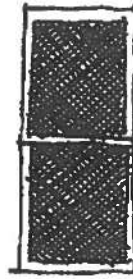
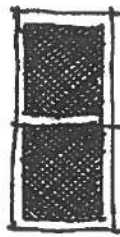


Arch Shutter



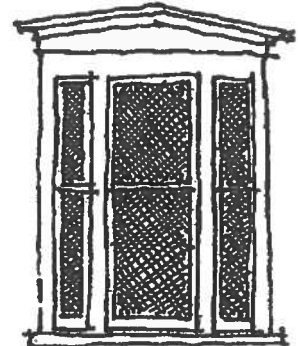
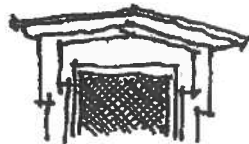
Typical Shutters

Second Floor

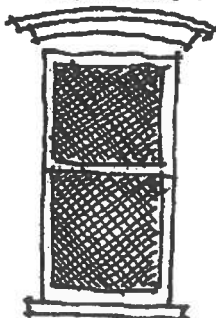
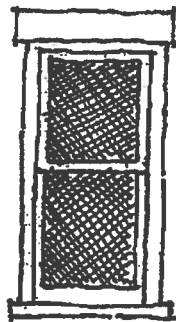
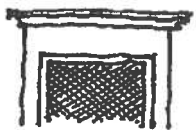
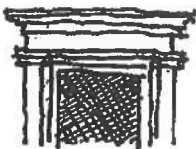


First Floor

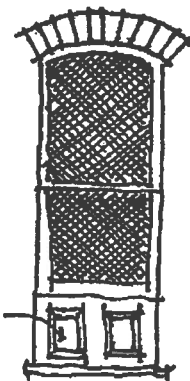
Window Proportions



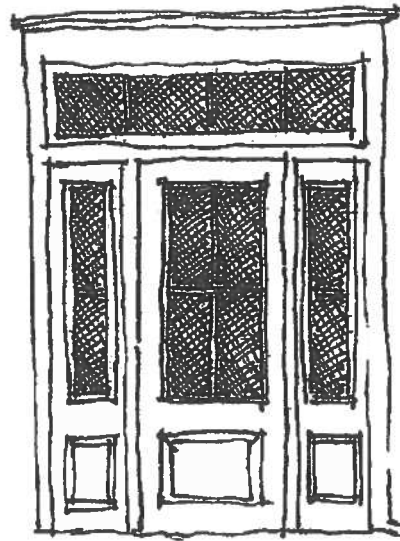
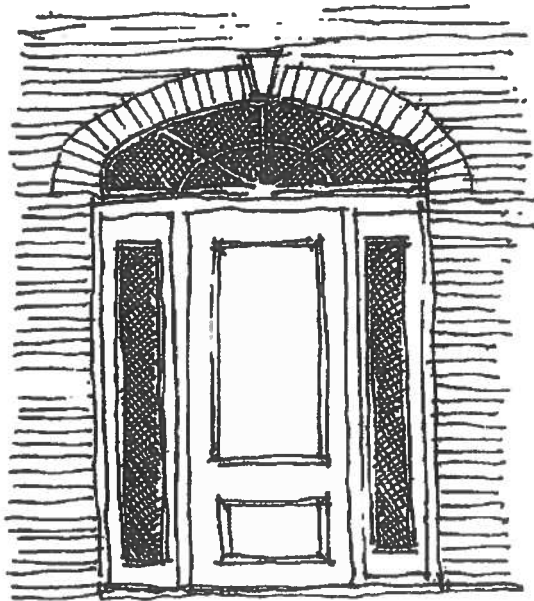
three-part window



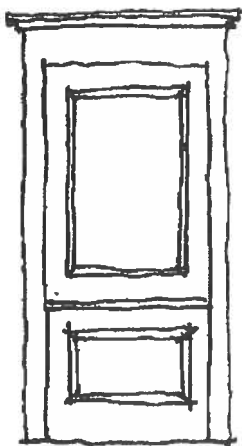
Wd. Panel



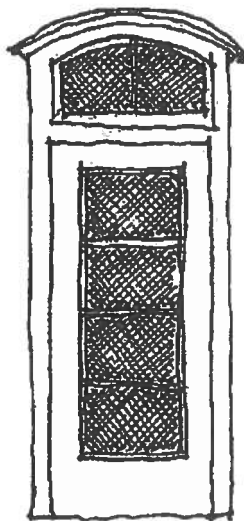
Typical Window Details



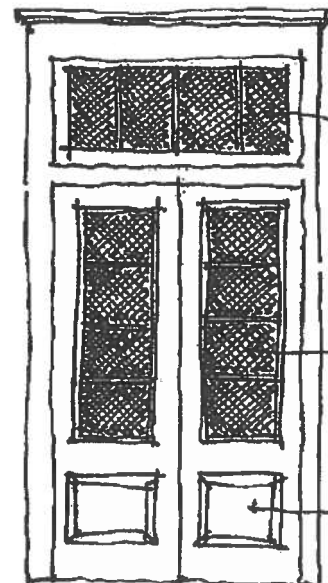
SIDE LIGHTS



Dutch door



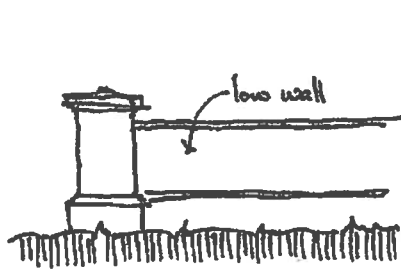
Typical Doors



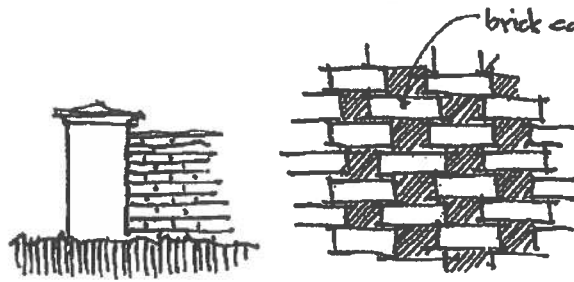
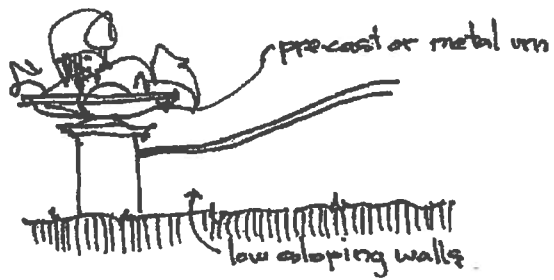
transom

divided lite glass

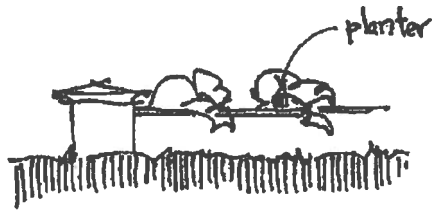
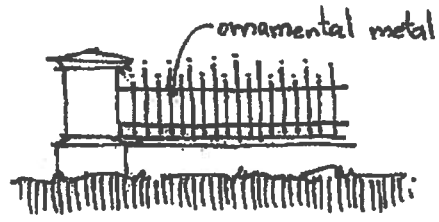
panel



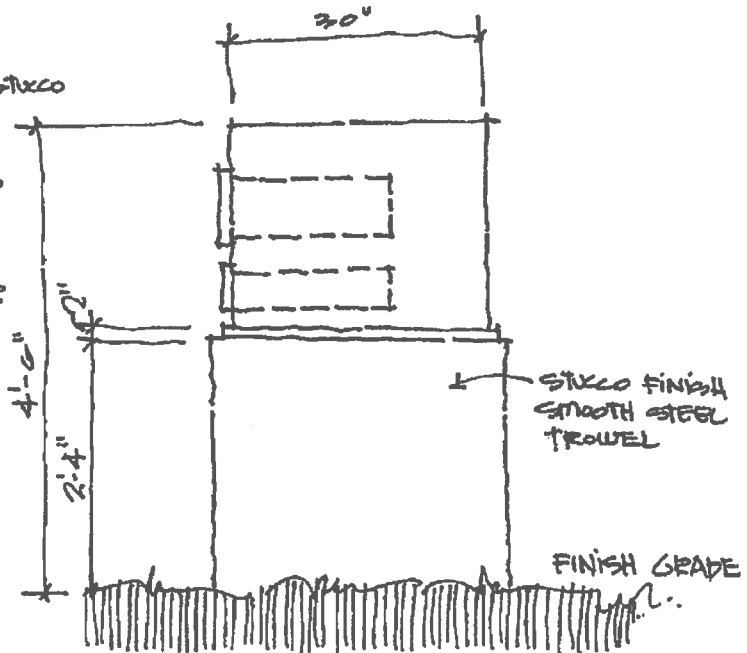
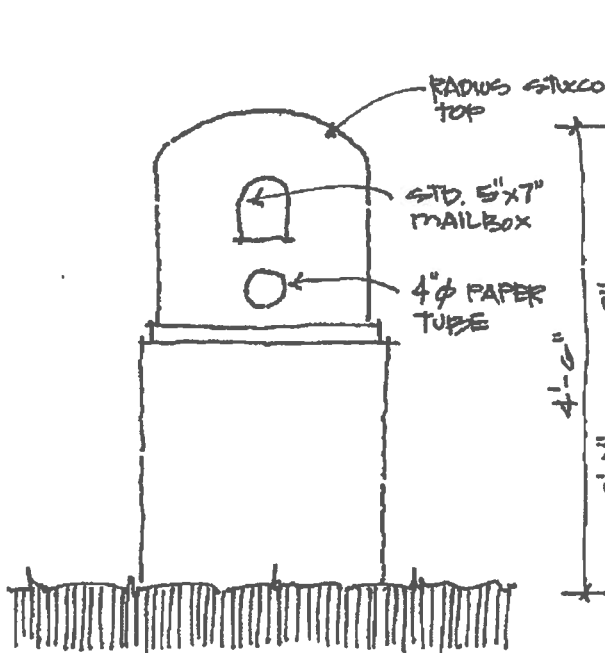
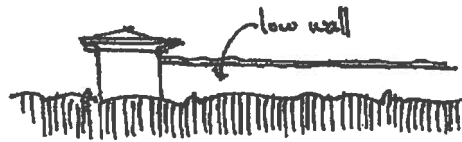
SOLID FENCE



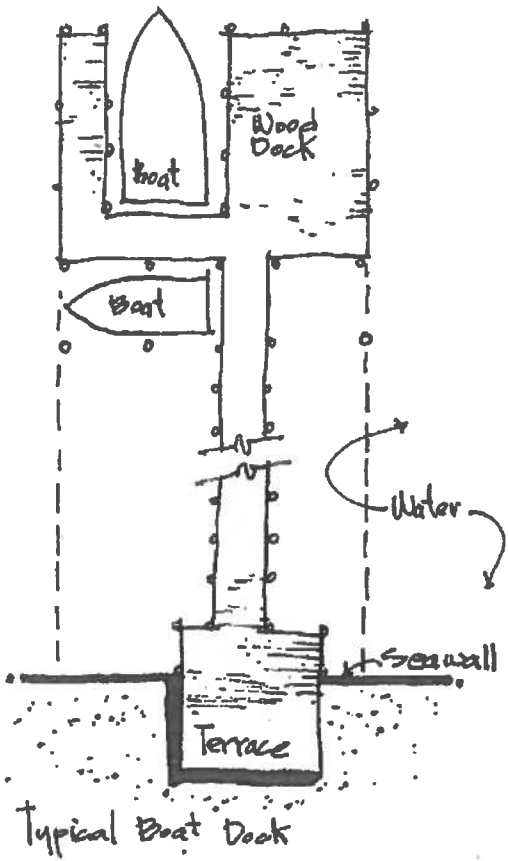
SEMI-OPEN FENCE



OPEN FENCE



TYPICAL MAIL BOX ELEVATIONS



DS Series by USA Architectural Lighting
 DSA2 - or approved equivalent

