

Architectural Development Guidelines

for



PLANTATION PLACE
AT KELLY PLANTATION

Cornerstone Development Inc.

*Presented by
Caldwell-Cline Architects & Designers*



PLANTATION PLACE
AT KELLY PLANTATION

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Architectural Guidelines

General Overview

This Architectural Guideline is intended to offer a consistent method for reviewing the overall character of the homes built at Plantation Place. The following information illustrates the principals and details the developers feel will help create a community that increases the value of its aesthetic appeal with the construction of each home.

While the definition of good architecture is subjective and sometimes based on the opinion of the individual reviewing the design, this guideline is a collection of illustrations depicting the details, proportions and theory of design that we will incorporate into this community.

As you proceed through the architectural guidelines you will see that we have attempted to illustrate appropriate and inappropriate details. Details that are not illustrated as approved should be submitted for approval prior to construction.

As with any document of this type there will be exceptions to the recommended procedures, but unless approved by the Architectural Review Committee all submittals should be strictly based on the following guidelines.





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Architectural Character

While we are not defining specific characters of architecture that will be approved for construction in Plantation Place, there are several architectural genres that will be discouraged.

The overall character of the community will be considered "turn of the century Americana". Atlanta's Morningside and Ansley Park as well as Birmingham's Mountainbrook are a few of these older communities that emulate the character of this type of development. As you drive through these communities there is not a single architectural character, but a range of well-detailed, correctly proportioned homes that complement each other and together create a true neighborhood streetscape.

Approved vernaculars of architecture would include:

- Georgian/Colonial
- European/French and English Country
- Southern Vernacular
- Craftsman/Bungalow
- Victorian

Inappropriate vernaculars of architecture would include:

- Contemporary/Modern
- Mediterranean
- Art Deco



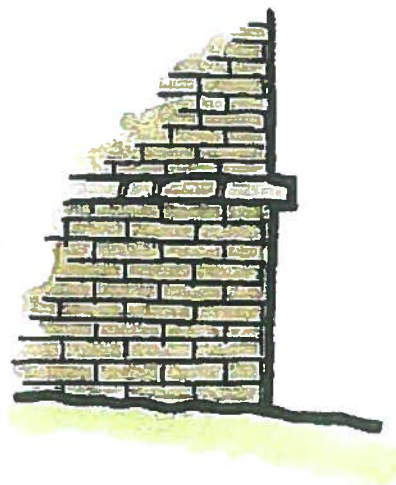
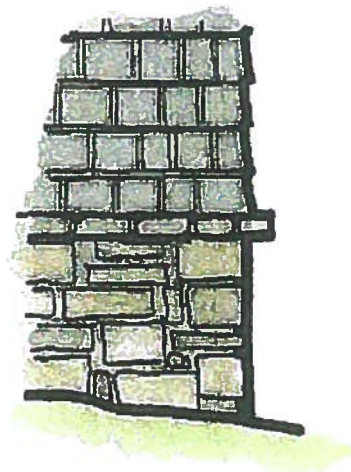
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Foundations/Slope Conditions

Appropriate

General

- All foundations to be masonry materials.
- Main level finished floors to be 24" to 36" above finished grade at front elevation.



Brick

- Introduce break of plane at level finished floor line.
- Brick shapes, rowlock band ledge are all acceptable brea



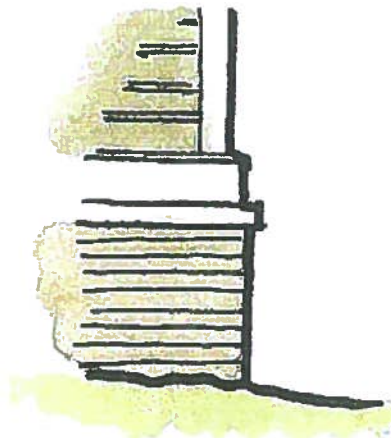
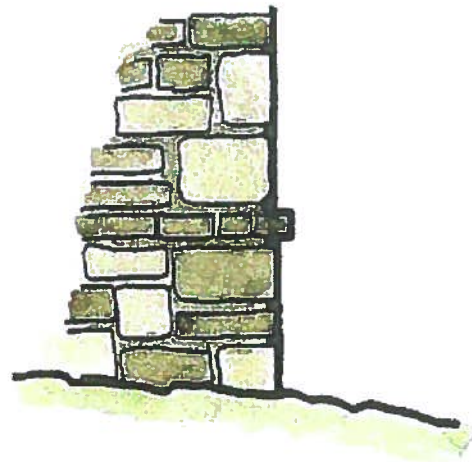
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Foundations/Slope Conditions (continued)

Appropriate

Stone

- Introduce break of plane at main level finished floor line.
- Stone ledge or band are the only acceptable breaks.



Siding and Shingle

- Foundation below must be masonry material (brick, stone or stucco).
- Drip cap at transition or skirt is acceptable transitions based on architecture.



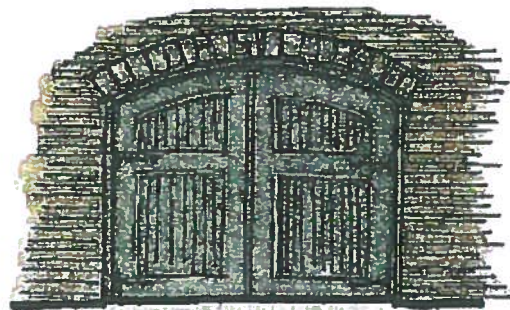
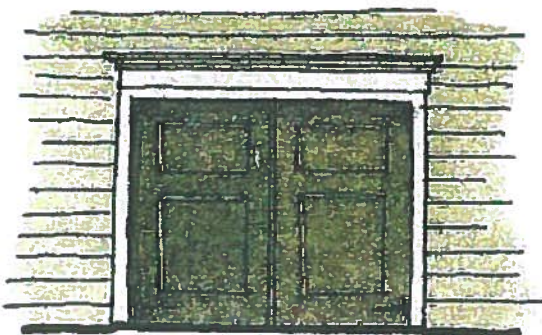
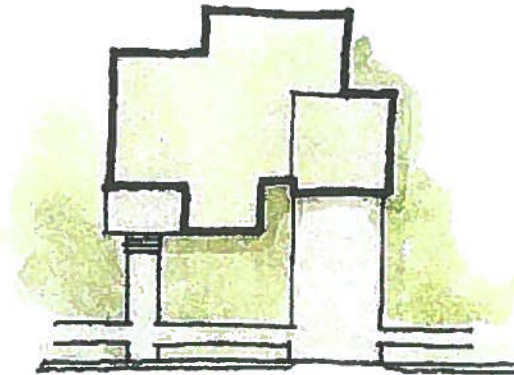
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Massing & Proportions

General Planning

- Front entry garage doors are to be a minimum of 12'-0" behind the plane of the front porch or front door of the home.
- Garage doors are to be carriage type. No sixteen panel or flush garage doors will be permitted.
- Front porches are to be a minimum of 8'-0" deep. Steps to grade at all front entries are to be a minimum of 5'-0" wide and attach to a walkway of the same width.

Appropriate





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Massing & Proportions (continued)

Massing

- Overall building mass should emulate one and one half story massing.
- Full two-story massing should be avoided by the introduction of one-story elements or varied cornice lines.
- Porches should have an independent roof structure separate from the main building mass.
- The introduction of copper or metal accent roofs over front porches is strongly recommended.

Appropriate





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Exterior Veneers



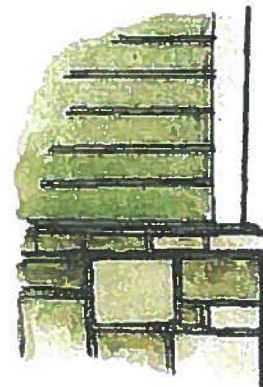
General

Mixing materials is a recommended method for adding character and breaking up the mass of the home. Any change of materials is to occur on an inside corner. No material change is to occur such that the thickness of the material is clearly visible.

Appropriate

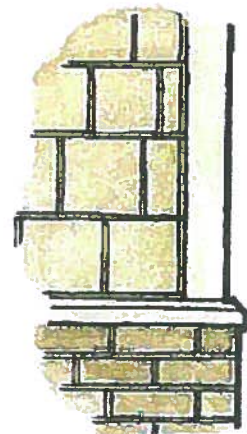
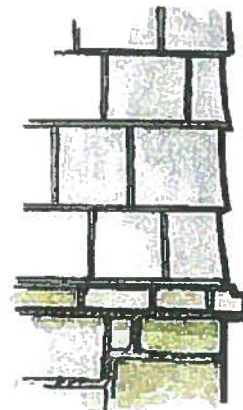
Siding

- Horizontal siding to be solid wood or concrete solid board such as Hardi Plank or equal.
- Horizontal siding to be 6" maximum exposure and 4" minimum.
- Corner boards to be 1or 5/4 x 6" typical.



Shingle

- Shingle siding to be cedar or concrete shingle.
- Shingle pattern to be varied width with straight or sawtooth pattern.
- Woven corners are strongly encouraged, but 1x6 minimum corner boards are acceptable.





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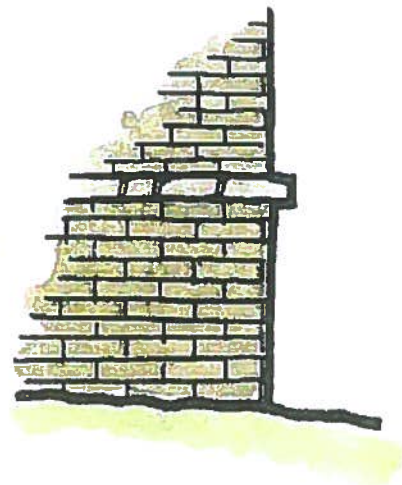
Exterior Veneers (continued)

Brick

- Brick to be wood mould or wood mould textured brick with varied color and texture.
- Mortar colors should be a contrasting, but complementary, color to the brick used. Recommended color ranges include buff, coosa light, ivory buff, grey and sand.
- No red mortar is to be used in the development.

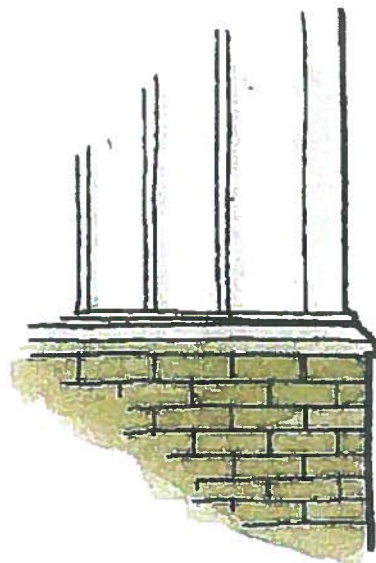


Appropriate



Board and Batten

- B&B should be cedar boards or concrete panels with 2x cedar strips at 18" o.c. typical.
- Corner boards should be 1x6 minimum.





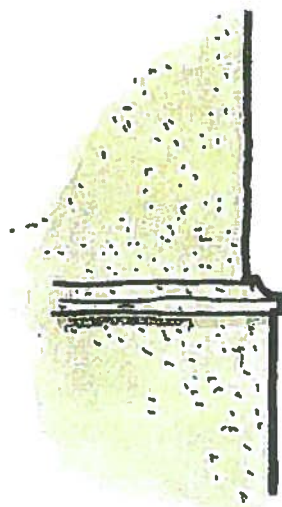
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Exterior Veneers (continued)

Appropriate

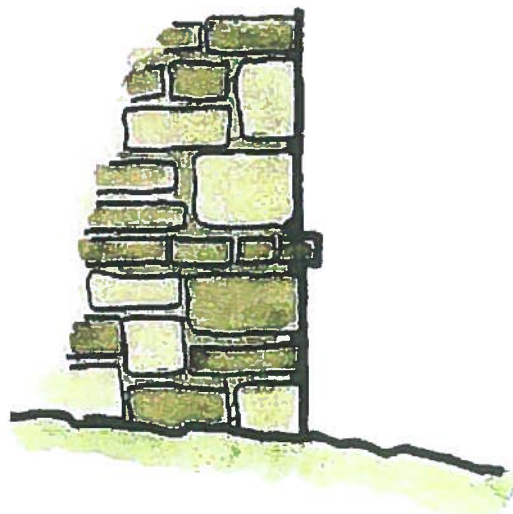
Stucco

- Stucco is to be true masonry stucco. No EIFS synthetic stucco will be allowed.
- Stucco will not be allowed as an applied accent over brick.



Stone

- Natural stone is strongly recommended, but the use of approved synthetic stone will be permitted. Any stone palette must be submitted to the developer and approved prior to installation.
- Stone should not be supported by any other material. For example, stone should not be used directly above a brick foundation.





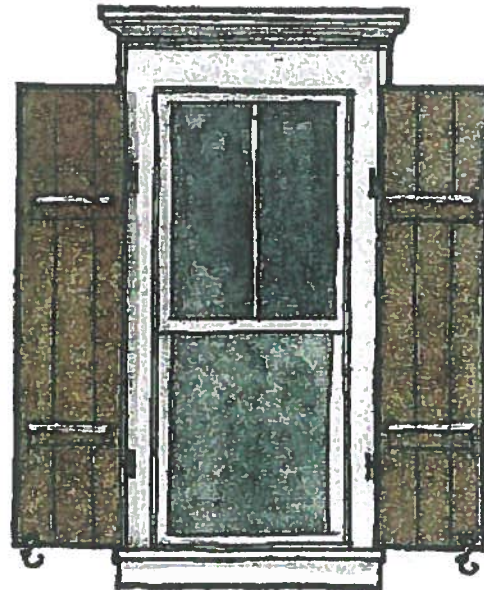
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Window Treatments

General

- All windows to be True Divided Lite or Simulated Divided Lite.
- Grids between the Glass or Snap in Mutton windows are not permitted.
- All double hung or casement windows should have a mutton pattern appropriate to the style of the home. Windows without muttons are not permitted.
- Window type, style, casing and mutton pattern should be consistent around all sides of the house.
- Casing width should be 3-1/2" minimum.
- Recommended casings include 1x4 with backband, WM-3, 1x4 or equal.

Appropriate



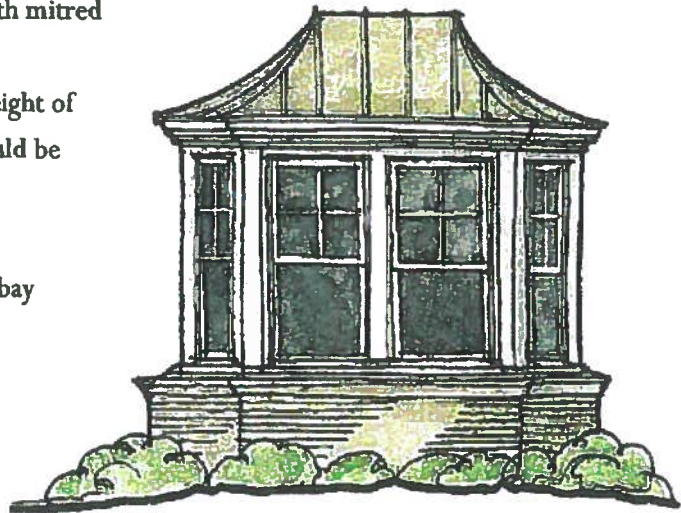


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Bay Windows

General

- Both angle bay windows and box bay windows are appropriate, based on the style of architecture.
- The front and sides of all bays are to be wood, or composite material to emulate wood. The exception to this guideline would be a shingle bay with mitred corners.
- Careful attention should be given to the height of the area above the window head. This should be minimal and often requires a lower ceiling inside the bay.
- Masonry material should not be used on a bay window.



Appropriate





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Shutters & Dormers

Shutters

General

- All shutters should be half the width of the adjacent window and of the same height.
- All shutters are to be operable with hinges and shutter dogs.
- Approved shutter styles include panel, louvred and batten. Other shutters must be approved prior to installation.

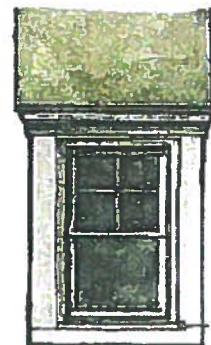


Appropriate

Dormers

General

- Dormers should be appropriately detailed and proportioned to match the historic precedent for the particular style of the home.
- Particular attention should be given to the area above the dormer window. This area should be minimal and in proportion with the rest of the dormer.
- Dormers should never receive gutters or downspouts
- The overhangs on the sides and front of the dormer should be minimal and equal on all three sides.





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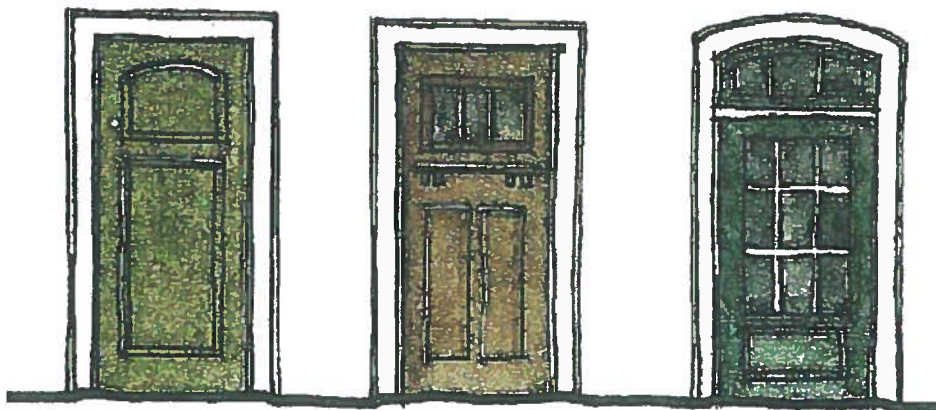
Doors

General

- All interior and exterior doors will be 8-0" tall with ten foot ceilings, and 6-8" with nine foot ceilings.
- 6-8" doors with transoms are permitted in lieu of 8-0" doors.
- No stained glass or ornate decorative glass doors will be permitted.
- No two-story glass entries will be considered appropriate.
- No storm or screen doors will be permitted on the front of the home.



Appropriate



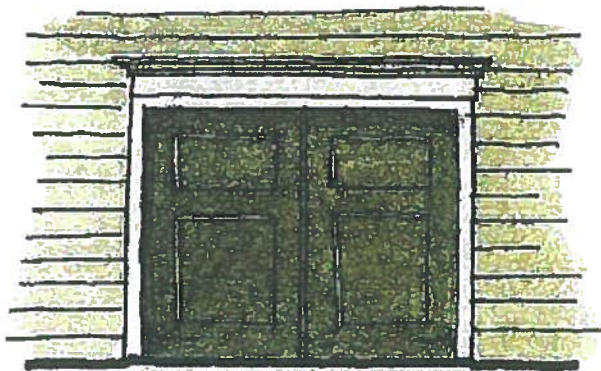
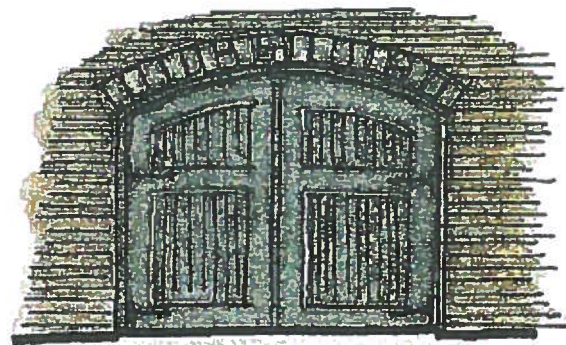


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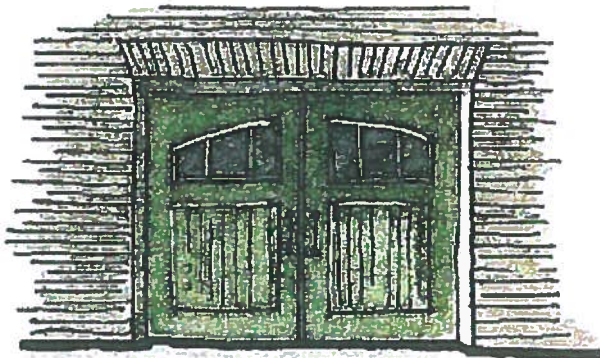
Doors (continued)

Garage Doors

- Garage doors are to be carriage type garage doors from wood or a composite material that emulates wood.
- Standard sixteen panel garage doors are inappropriate.
- Flush doors without applied moulding are inappropriate.



Appropriate





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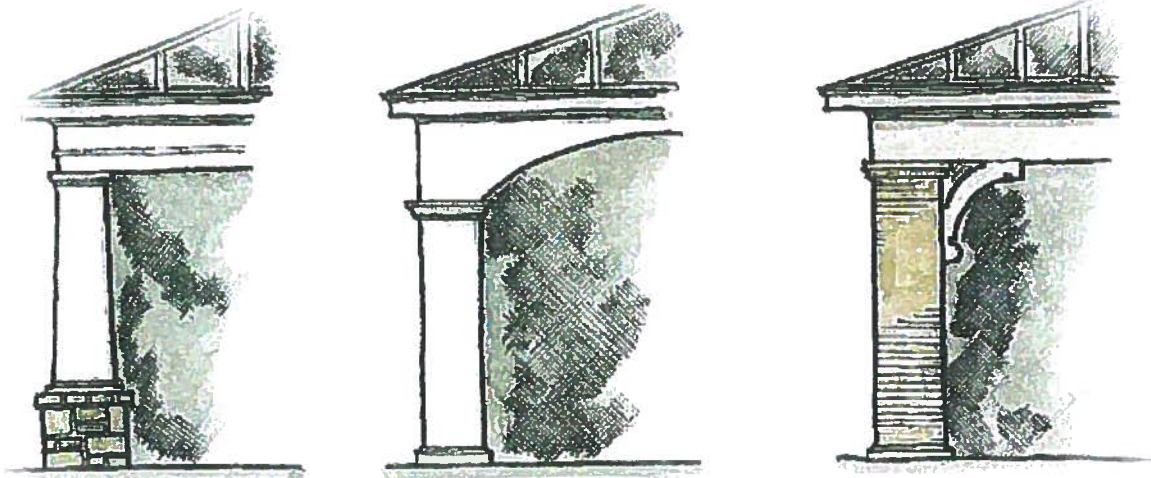
Pool Enclosures

General

Pool enclosures will be allowed provided the architectural detailing complies with the following guidelines:

- All vertical elements of the enclosure are to be of a style to match the architectural character of the associated residence.
- Approved materials include: Brick, Stucco, Columns; of wood or synthetic material that emulates wood or stone.
- No vertical aluminum framing is permitted as the primary structure.
- All screen roof structure framing is to be of a dark color; black, bronze or brown.

Appropriate





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Approved Architectural Characters

General

Appropriate roof materials include but are not limited to:

- Fiberglass shingles, 300# minimum
- Slate
- Synthetic slate (sample must be approved)
- Standing seam metal (accent roofs only)

Any change of exterior materials is to take place on an inside corner. No material change is to take place on outside corners where the thickness of the material is easily noticed.

All homes must be reviewed and approved based on the architectural review and submittal guidelines.





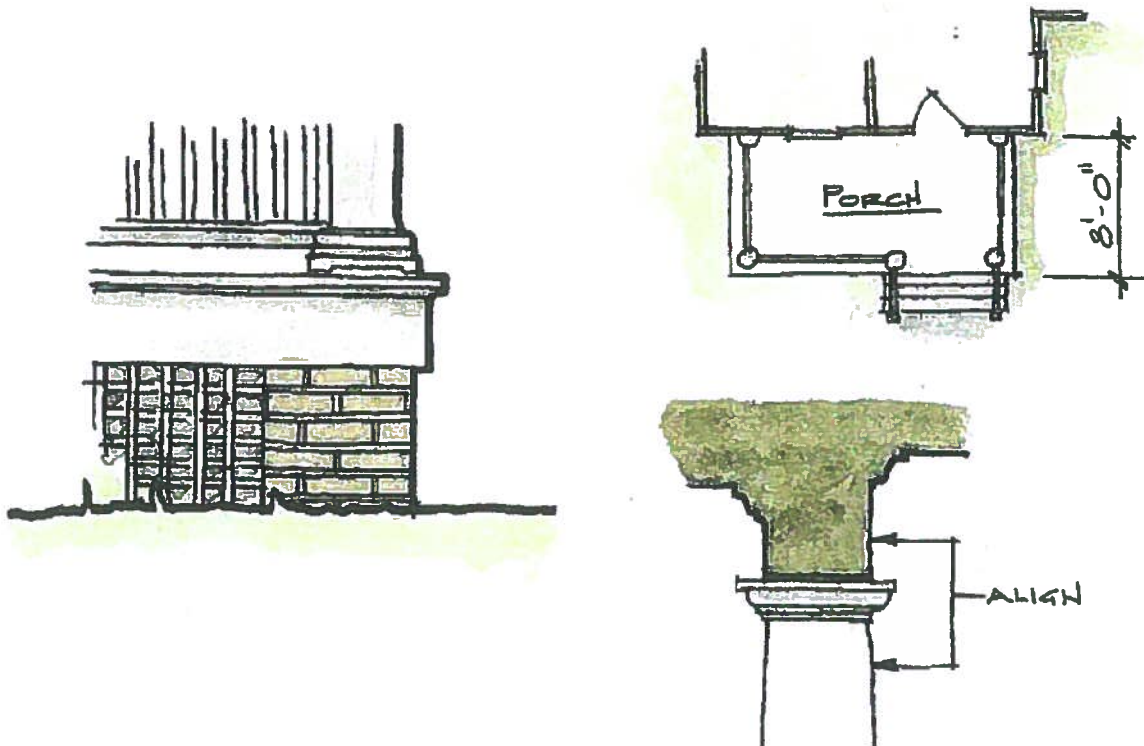
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Porches

General

- All front porches are to be a minimum of 8'-0" deep.
- Round or square columns are appropriate, but careful attention must be given to the correct proportions of the width and height to match the style of the home.
- The column shaft directly below the capital must align with the outside face of the entablature above.
- Two-story porches are not appropriate, but double-stacked porches are appropriate for certain architectural styles.
- Porches must be supported by a masonry foundation. If the porch is supported by masonry piers, the area between the piers must be screened. Appropriate screening materials include pierced brick, louvred panels, stucco panels and 90 degree lattice. (Diagonal lattice is inappropriate).

Appropriate



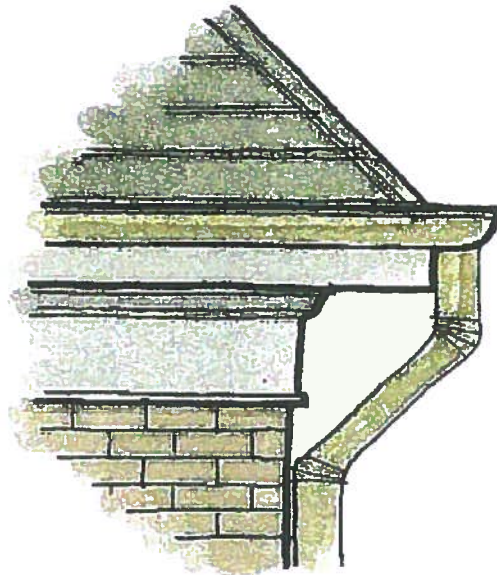


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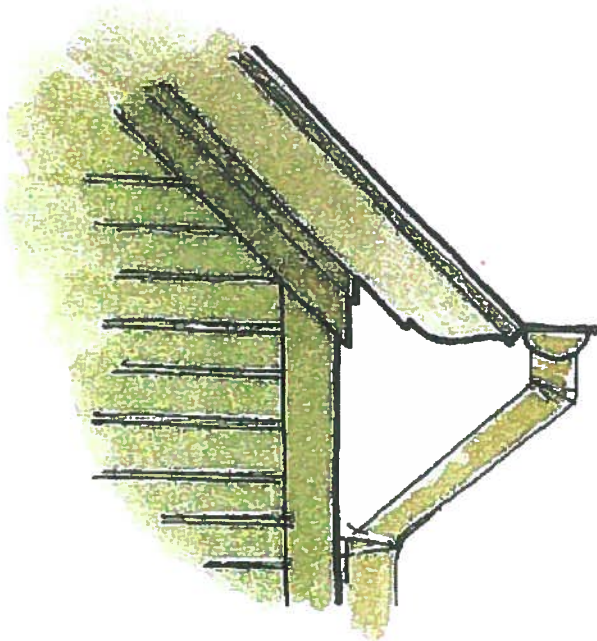
Cornice & Trim

General

- Cornice proportions and style should be in keeping with the character of the home.
- Metal flashing in cornice returns is to be installed at a maximum 3:12 pitch.
- Half round or ogee gutters are approved, but all downspouts are to be round.
- Traditional closed cornices as well as exposed rafter tail cornices are appropriate, but must match the character of the home design.
- Typical overhang will be 12".
- "Birdbox" style cornice returns are inappropriate.



Appropriate





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Approved Architectural Characters





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Appropriate Styles & Massing



- Approach focuses on entry
- Width of shutters match windows



- Garage doors behind plane of porch
- Front arrival steps address street

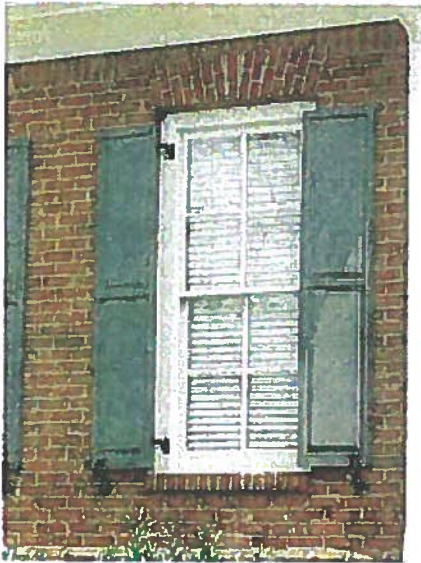


- Large inviting porch
- Garage not a prominent feature



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Appropriate Detailing



- Correctly sized jack arch
- Hinges and shutter dogs (holdbacks)
- TDI window



- Appropriate shutter style
- Width and height of shutters match window



- Correct casing and pediment proportions



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Appropriate Detailing (continued)



- Correct proportions
- Minimal overhang



- Carriage style garage doors
- Canopy over garage doors
- Bracketed cornice



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Inappropriate Styles & Massing



- Predominant two story massing
- Two story entry element



- Two story entry element
- Dormer proportions





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Inappropriate Styles & Massing (continued)



- Material change on outside corners
- Single front facing garage doors
- Two-story massing



- Finished floor less than 24" above grade
- Garage too prominent in floor plan
- Roof vents visible from street



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Inappropriate Detailing

- Excessive header
- Siding at front of dormer
- Overhang too large



- Gutter on dormer
- Siding exposed on front
- No muttons

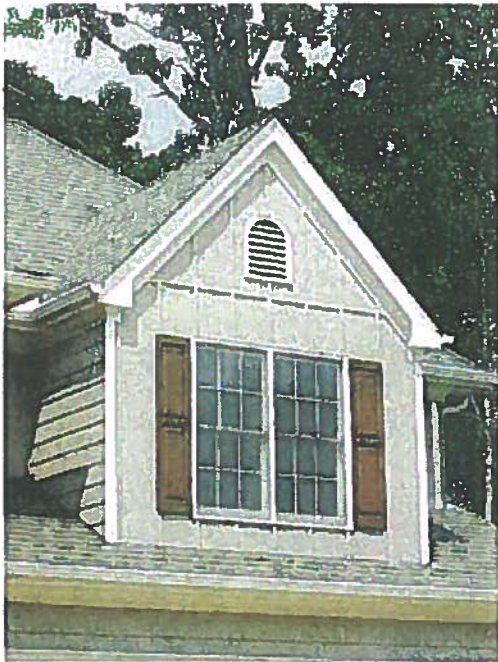


- Panel below window
- Dormer out of proportion



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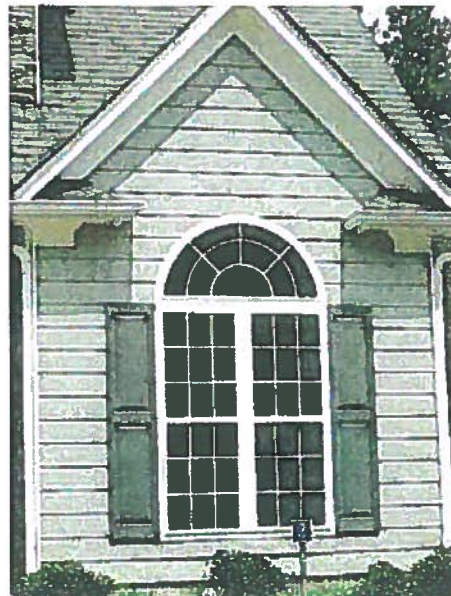
Inappropriate Detailing (continued)



- Birdsmouth cornice return
- Gutter on dormer
- Change of materials on outside corner



- Overly decorative
- Dormer head excessive



- Shutter width and shape does not match window
- GBG windows



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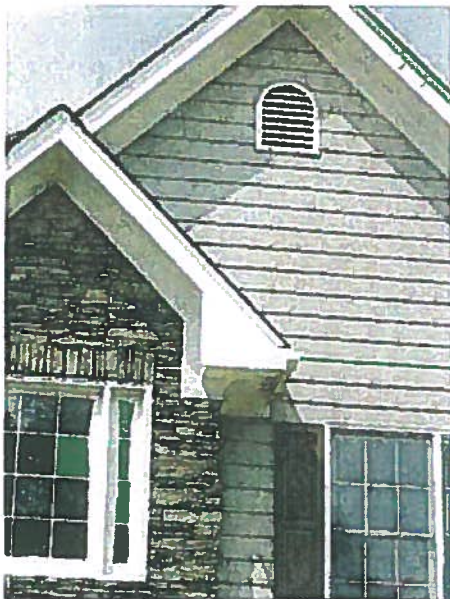
Inappropriate Detailing (continued)



- Brick on bay window
- Lack of cornice on bay



- Applied shutters
- Stucco over brick jack arch
- Snap-in grids on window



- Birds-mouth cornice return



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Inappropriate Detailing (continued)



- Absence of pilaster against wall on porch
- Birdsmouth cornice return



- Change of material on outside corner
- Two-story entry element



- Corner board on one side of corner only



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Inappropriate Detailing (continued)



- Improper column alignment



- Garage is too prominent in floor plan
- Single front facing garage door



- Garage is too prominent in floor plan
- Shutter width & shape do not match window
- Lack of carriage garage doors



PLANTATION PLACE
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Architectural Submittals for Review

All homes proposed for construction in Plantation Place must be submitted for review by the Architectural Review Committee. The review process is broken into two phases:

- Preliminary Submittal
- Final Submittal

Preliminary Submittal

The purpose of the preliminary submittal is to review the overall character of the home and its compliance with the design guidelines prior to the purchase of the plans or completion of the construction documents if the home is to be custom designed. This submittal should include all floor plans as well as the front elevation. This may be in any form as long as the plans are defined and the design intent is clear in the exterior elevation.

Preliminary submittals should include a preliminary site plan of the home, driveway and other site improvements located on the plat of the lot.

Final Submittal

The purpose of the final submittal is to review all of the details, materials, style and colors to be utilized in the home. This submittal should include:

- All floor plans (lower, main and upper)
- Front, side and rear elevations illustrating all finish materials;
- Site plan showing all site improvements as well as the final grading plan and finish floor elevations for the home; and
- Completed submittal form specifying all materials, colors and finishes.

Upon submittal of the information as outlined above, the Architectural Review Committee will review the plans and return the submittal form marked either approved, revise and resubmit, or declined.



PLANTATION PLACE
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Architectural Review Submittal Form

Submittals made to: Cornerstone Development Inc.

Customer Name: _____ Lot Number: _____

Builder Name: _____ Ph: _____ Fax: _____

Date Submitted: _____ Date Received: _____

All submittals must include :

Preliminary Submittal

- All Floor Plans (Lower, Main and Upper) ¼" = 1'-0"
- Front Elevation (illustrating all exterior materials and locations) ¼" = 1'-0"
- Site Plan (showing location of house on site as well as driveway, patios, decks, etc.)

Final Submittal

- All Floor Plans (Lower, Main and Upper) ¼" = 1'-0"
- Front Elevation (illustrating all exterior materials and locations) ¼" = 1'-0"
- Side and Rear elevations (illustrating all exterior materials and locations) ¼" = 1'-0"
- Site Plan (final site plan for ARC review showing all site improvements as well as final grading)
- Completed Submittal Form specifying all exterior materials, colors and finishes

House Material Specifications

Visible Foundation: _____ Color/Type: _____

Chimney: _____ Color/Type: _____

Mortar: _____ Color/Type: _____

Roofing: _____ Color/Type: _____

Trim	Paint Company	Color or Code	Comments
Exterior Doors:	_____	_____	_____
Windows:	_____	_____	_____
Shutters:	_____	_____	_____
Cornice:	_____	_____	_____
Siding:	_____	_____	_____
Stucco:	_____	_____	_____
Gutters:	_____	_____	_____
Downspouts:	_____	_____	_____

Approved

Signed: _____

Declined

Date: _____

Review and Resubmit

Comments: _____

**NCC Ad Hoc Session
21 May 04**

On 21 May 04, three members of the Kelly Plantation NCC conferred by telephone with Mr. Roger Caldwell of Caldwell-Cline Architects of Atlanta, GA. Questions were posed to help the NCC capture the essence of the neighborhood envisioned by the Kelly Plantation Board of Directors, who had commissioned Caldwell-Cline to design the new neighborhood, now named Plantation Place. The following are the minutes taken from this conference call meeting:

1. Mailboxes. The standard Kelly Plantation mailboxes would not match the style of this neighborhood. Mr. Caldwell suggested black wrought iron mailboxes (not too ornate). Locate single boxes on the same side (either right or left). Don't use double mailbox single pole in this neighborhood.
2. Driveways. All driveways will be made of brick pavers. The driveways will have normal Kelly style concrete aprons with the Kelly keystone design. Kelly grey color concrete will be used on the aprons and sidewalks. Driveways will be Kelly Plantation Guideline standard width. The NCC will select three colors for Plantation Place pavers. Owners must select from those three options. Homes with garages on rear side may use the pavers for front sidewalks from front door to street.
3. House Colors. Caldwell-Cline will provide a color palette. Those options will be the basis for NCC color selections.
4. Roof Colors. The NCC will select two or three roof colors (weathered wood, slate, etc.). Owners must select from those options. Roof vent pipes must be only placed on rear elevation roof area and painted to match the roof.
5. Windows. Windows will follow guidelines in Plantation Place guidelines book. Wood window simulation is required.
6. Garage Doors. Roll-up garage doors with carriage door design must be used. Garage door color will be part of NCC review.
7. Golf Course Homes. Two story porches on rear elevations of golf course home are encouraged.
8. Golf Cart Doors. Golf cart doors that require cart to cross the property line to exit or enter are prohibited.
9. Porch/Garage Relationships. Plantation Place Guidelines dictate that garages be recessed 12' from front line of porches. Any variance should be no more than 2' from that standard.
10. Variance for Lot 22. Due to the length of this lot and it's approach position, a courtyard garage would be an allowable variance *on this lot only*.

NCC Ad Hoc Session
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